

EXHIBIT J (Rev. 1) to Development Agreement
Development Standards and Design Guidelines for
MountainStar Master Planned Resort
March 18, 2008

Section 1 - Introduction

Purpose of Development Standards

The following development standards shall apply to the development and design of the MountainStar Master Planned Resort (MountainStar) to ensure that MountainStar develops in a manner that maintains the value of the project and its distinctiveness over the long-term. The MountainStar development standards establish the construction criteria and design guidelines to implement the MountainStar Conceptual Master Plan. These development standards will provide greater predictability to Trendwest, the County and other reviewing agencies, and the public regarding the standards to be used in implementing MountainStar.

The purpose of these documents is to standardize design and construction elements, where necessary, for consistency and to address the following additional purposes:

- Safety.
- Predictability.
- Pleasant appearance.
- Economical construction and maintenance.
- Provide for facilities that perform over the project's design life.

These standards are also intended to serve as a basis and guideline for County review of specific Site Development Plans and other Subsequent Actions, as defined in the Development Agreement, to implement the MountainStar Conceptual Master Plan.

Changes and Amendments to Development Standards

Changes or amendments to the Development Standards may be necessary during the 30-year Term of the Development Agreement. In the event the County can demonstrate that a Development Standard should be changed due to a specific life/safety issue or concern, then the County staff may recommend, through the condition amendment process, impose additional reasonable conditions to prospectively address such issue or concern in subsequent phases of the development of MountainStar in keeping with the concept of a master planned resort.

Section 2 - Grading, Erosion and Sedimentation Control

In order to maintain the natural setting of MountainStar, the extent of clearing associated with project construction will be kept to reasonable minimums through project design and implementation. The standards established by this Section shall apply to the design and construction of temporary erosion and sedimentation control (TESC) facilities for MountainStar.

TESC Best Management Practices (BMPs) will conform to the then current version of the the requirements set forth in the Washington State Department of Ecology publication Storm Water

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~~management Manual for Eastern Washington, Stormwater Management Manual for the Puget Sound Basin (1992 Edition), until an Eastern Washington manual is published by Ecology and adopted by the County. (Reference Condition of Approval B-1), February 1992 (DOE SMM). These BMPs fall into three categories:~~

- ~~Cover Practices~~
- ~~Erosion Control~~
- ~~Sediment Detention~~

~~The following specific elements and requirements will be a part of the TESC program for MountainStar:~~

- ~~Temporary TESC and infiltration facilities will not be used for the permanent facilities.~~
- ~~Special attention will be given to disturbed loess material and TESC provisions for this material.~~
- ~~Consideration will be given to adding new and effective BMPs, not listed in DOE SMM, as they become proven. An example would be the non-toxic chemicals, such as Poly Acrylamides (PAM) now approved by Washington State Department of Transportation (WSDOT) for dust control, infiltration enhancement, and fine suspended sediment removal.~~
- ~~TESC plans and specifications developed specifically for the MPR that are updated periodically to reflect experience gained from project construction.~~
- ~~Pre-construction orientation of site work contractors in the MPR TESC requirements.~~
- ~~Monitoring and maintenance of TESC provisions.~~

Section 3 - Roads and Non-motorized Facilities

The purpose of this section is to provide a foundation for the development of an integrated, fully accessible transportation system that addresses the goals and vision of MountainStar. The components of this transportation system include:

- ~~Roadways.~~
- ~~Pedestrian Multimodal trails.~~
- ~~Bicycle trails.~~
- ~~Nature trails.~~
- ~~Golf course paths.~~
- ~~Equestrian trails.~~

~~These Development Standards address standards for the proposed private roadways, pedestrian, bicycle, multimodal, nature and equestrian trails, and golf course paths within MountainStar.~~

~~All private on-site and public off-site public road improvements and paths and trails constructed within or in conjunction with MountainStar shall be in accordance with Kittitas County Code Chapters 12.10, ~~and~~ 12.20, and 12.30 of the Applicable Law as set forth in the Development Agreement except as specifically modified herein. Consistent with MountainStar MPR Condition C-12, gates will be allowed to control or close access to roads, trails and paths at the discretion of~~

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the Resort and consistent with the MountainStar MPR Conditions. The Resort will establish design criteria and prepare designs for gates.

~~Paths and trails shall be allowed as shown in Table 2. Pedestrian, bicycle, nature and equestrian trails, and golf course paths, shall be in accordance with Kittitas County Code Sections 12.30.080, 12.30.100 and 12.30.110 of the Applicable Law, except that any MountainStar Bike Path (Class I) may be 8 feet wide instead of 10 feet wide at the option of Trendwest.~~

General Considerations

Drainage plans for private roadways within MountainStar are intended to be consistent with the Master Drainage Plan, MountainStar Master Planned Resort, April 1999 (Rev. July 1999).

For all MountainStar purposes hereunder, "Private Street" shall be defined as follows: "A privately owned and maintained access provided by a tract, easement or other legal means."

Roadway Classification and Design Criteria

Notwithstanding any provisions seemingly to the contrary contained within the Road Classification provisions set forth in KCC 12.20.010 and Table 1 below, all roads within MountainStar shall be classified as rural. Thickened wedged asphalt curbs or their functional equivalent may be used to convey stormwater on all such roads in lieu of roadside ditches.

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The Design Criteria for Rural Access and Private Streets and Roads table as set forth in KCC 12.20.050 is hereby modified to delete the Row "A" classification provisions regarding "Serving Potential Number of Single Family Units" as set forth in Table 1.

The following provisions of KCC 12.20.080 of the Applicable Law regarding Private Roads shall be inapplicable to MountainStar: KCC 12.20.080(B)(2), (4), (6), (7), (8), (9) and (11) and KCC 12.20.080(D).

The following provisions of KCC 12.20.100 of the Applicable Law regarding Cul-de-sacs shall be inapplicable to MountainStar: KCC 12.20.100(B).

Design criteria for MountainStar roadways shall be as set forth in Table 1, ~~or as otherwise approved by Kittitas County Department of Public Works. It is expected that other roadway designs will be proposed by the Applicant to serve distinctive needs of the MPR and unique neighborhood plat designs. Table 1, along with Figures 1 & 2, provide examples of roadway types, and represent typical modifications from standard road types set forth in KC 12.20.050 of the Applicable Law. Modifications are necessary to achieve the low design speed objectives of the resort, minimize impacts on natural features, and support a safe rural and natural theme.~~

Table 1 - MountainStar Roadway Design Criteria

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	<u>Collector (Single Lane Entry Road)</u>	<u>Collector (2-Lane Entry Road, Commercial Access and Major Residential)</u>	<u>Loop (Minor Neighborhood Collector)</u>	<u>Cul-de-sac (Serving 3925 Units or Less)^a</u>
Minimum Design Speed	26 mph	26 mph	21 mph	15 mph
Maximum Posted Speed	25 mph	25 mph	20 mph	Not Posted
Maximum Superelevation Rate	6%	6%	6%	6%
Minimum Horizontal Curvature (Radius)	200 ft.	200 ft.	100 ft.	70 ft.
Maximum Grade	12%	12%	15%	15%
Minimum Pavement Width	16 ft ^b	24 ft	20 ft	20 ft.
Minimum Shoulder Width	2 ft.	2 ft.	2 ft.	2 ft.
Minimum R/W Width	40 ft.	60 ft.	40 ft.	40 ft.

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^a For cul de sacs serving more than 25 units, the loop standards shall apply. Cul de sacs more than 600 feet in length shall have emergency turnarounds located at intervals not to exceed 600 feet. The maximum length of a cul de sac shall not exceed 1,000 feet without a variance. Emergency access shall be required for any cul-de-sac serving 40 units or more. ^b Collector roadways shall provide a minimum all-weather surfacing width of 20 feet.

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Project Roadway types, except as special conditions may otherwise dictate, shall conform with the types shown in Figures 1 and 2 and Table 1. Selection of alternative residential roadway types shall be by the developer. Pavement sections shall conform with the section shown in Figure 2.

The roadway types shown in Figures 1 and 2 and Table 1 represent modifications from standard road types set forth in KC 12.20.050 of the Applicable Law. The modifications are necessary to achieve the low design speed objectives of the resort, impacts on natural features, and support a safe rural and natural theme.

Access tracts or driveways (whether they are separate tracts, easements over other lots or tracts, or a combination) may serve up to five (5) residential units, provided that overall length does not exceed 2500 feet. Access up to three (3) lots residential units will require a twenty (20) foot right-of-way or easement with twelve (12) feet of pavement and one (1) foot gravel shoulders, the paved portion of which shall be capable of supporting emergency vehicles weighing up to 75,000 pounds. There shall be a vegetation clear zone extending five (5) feet on either side of the gravel shoulders with any encroaching limbs not less than fourteen (14) above pavement grade. For access tracts or shared driveways with distances of 0 to 600 feet from the intersection with a resort road, turnouts and turnarounds shall be required only if site conditions require. Over 600 feet, turnouts and turnarounds shall be required according to the International Fire Code. For access to four (4) or five (5) residential units, all elements such as width, length, turnouts and turnarounds shall be site specific as reasonably determined by the County taking into consideration traffic functions but consistent with the concept that excavation, vegetation removal, pavement and grading widths, and interference with the esthetics of the site are to be minimized.

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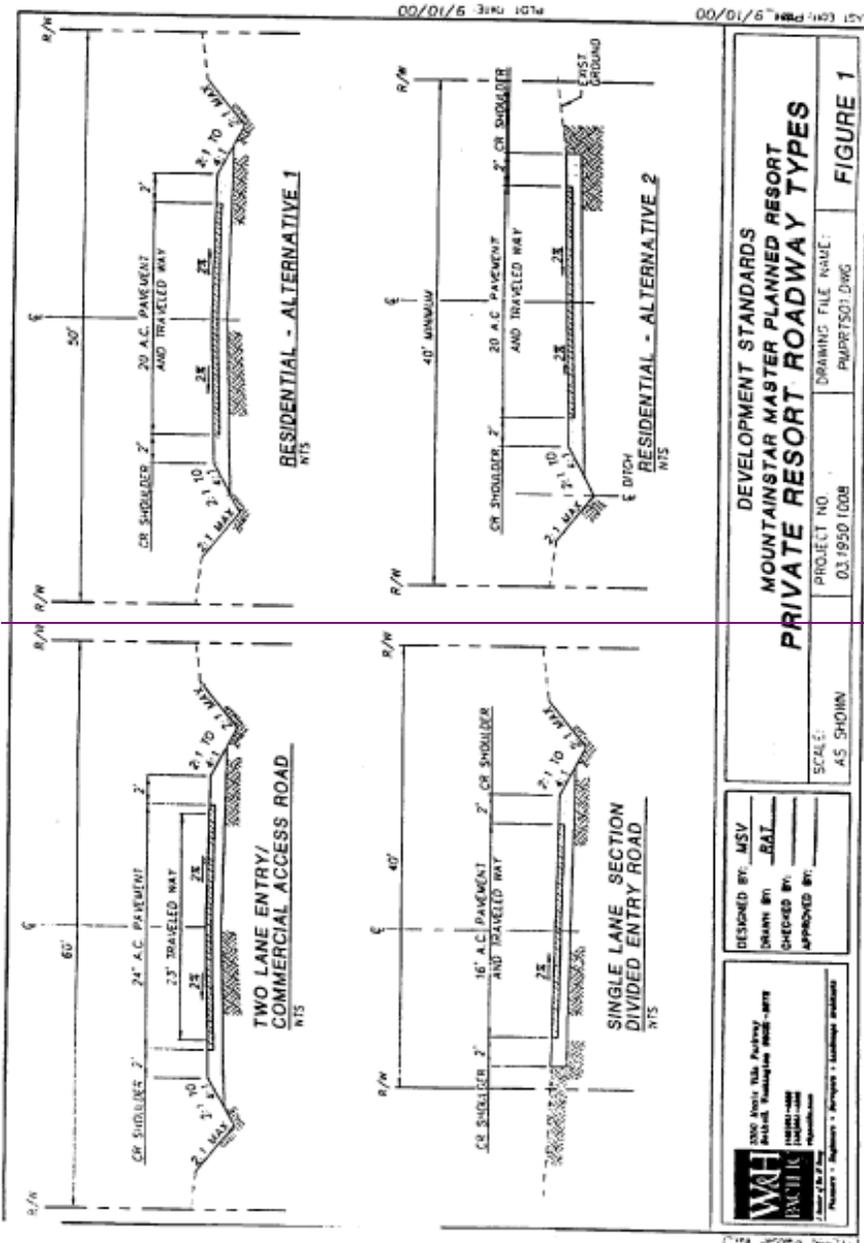
Access tracts which are, or may, be also used as emergency access shall be developed under the standard set forth above for access up to three (3) lots, provided that turnouts and turnarounds shall not be required and the overall length limitation shall not apply if such access is solely for emergency purposes.

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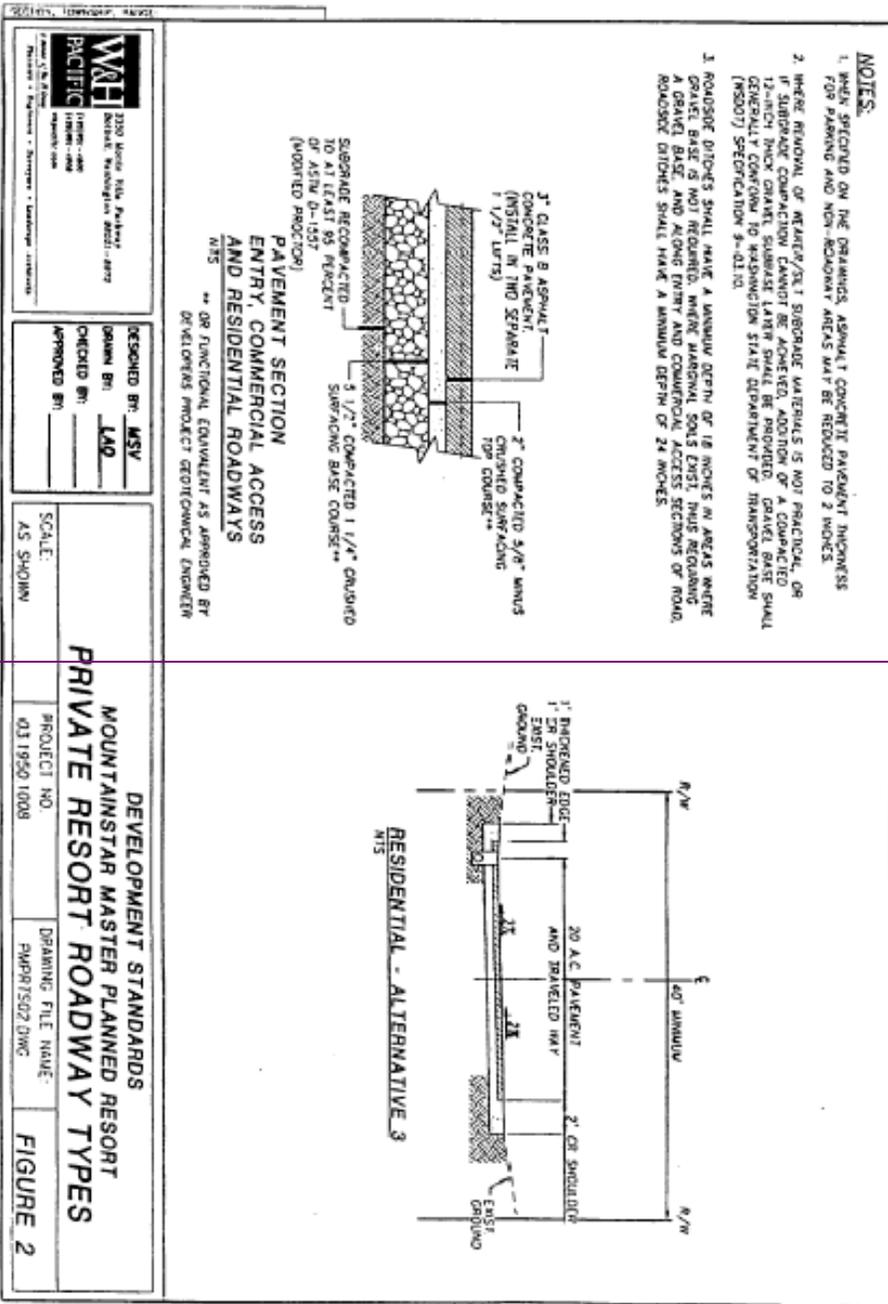
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TABLE 2 - SUNCADIA PATH AND TRAIL MATRIX (5/18/07)

	<u>PAVED PATH</u>	<u>TRAIL</u>	<u>NATURE TRAIL</u>	<u>*EQU Formatted Table TRAIL</u>
<u>Uses- Summer/Spring/Fall</u>	<u>Pedestrians, wheelchairs, bicycles, strollers, rollerblades, skateboards</u>	<u>(1)Pedestrians, fat tire bicycles, fat tire strollers</u>	<u>(1) Pedestrians</u>	<u>(1) Horses, pedestrians, fat ti bicycles, fat tire strollers</u>
<u>Uses-Winter</u>	<u>Pedestrians, CC skiing and snow shoeing on selected path segments</u>	<u>(1) CC skiing and snow shoeing on selected trails</u>	<u>(1) Pedestrians</u>	<u>(1) Pedestrians, (C skiing and snow shoeing on selec trails</u>
<u>Motorized vehicle use</u>	<u>Maintenance, security, Emergency Services, Mechanized track cutting</u>	<u>Maintenance, security, Emergency Services, Mechanized track cutting</u>	<u>NA</u>	<u>Maintenance, security, EmERGE Services, Mecha track cutting</u>
<u>Max. Percentage Grade</u>	<u>5% (2)</u>	<u>12% max. desired, Exceptions to 20%</u>	<u><40%</u>	<u><40%</u>
<u>Width</u>	<u>10' (Pavement)</u>	<u>4'-8'</u>	<u>2'-4'</u>	<u>+/-10' goal, but - at steep slopes</u>
<u>Shoulder width</u>	<u>1', transitions from asphalt to grade.</u>	<u>NA</u>	<u>NA</u>	<u>NA</u>
<u>Vegetation Clearance, Horizontal</u>	<u>5' to limbs and shrubs. 1'-2' for trees</u>	<u>2'-5' to limbs and shrubs. 1'-2' to trees</u>	<u>0</u>	<u>2'-5' to limbs an shrubs. 1'-2' to trees</u>
<u>Vegetation Clearance, Vertical</u>	<u>10', for a width of +/-14'</u>	<u>10'</u>	<u>8'</u>	<u>12'</u>
<u>Base material</u>	<u>4" crushed rock, to extend under shoulders</u>	<u>Native/existing soil and binder</u>	<u>Native/existing soil</u>	<u>Native/existing s Possible gravel</u>
<u>Surface material</u>	<u>2" Asphalt</u>	<u>+/-4" Crushed Aggregate with binder, or existing if granular/durable</u>	<u>Native/existing soil Possible wood chips Possible limited gravel</u>	<u>Native/existing s Possible wood cl Possible gravel</u>
<u>Slope for drainage</u>	<u>2% cross slope</u>	<u>2%, fit conditions</u>	<u>2%, fit conditions</u>	<u>2%, fit condition</u>
<u>Maintenance (Summer)</u>	<u>Powersweep Pruning Surface maintenance Sign maintenance</u>	<u>Pruning Surface maintenance Sign maintenance</u>	<u>Pruning Surface maintenance Sign maintenance</u>	<u>Pruning Surface mainten Sign maintenanc</u>
<u>Maintenance (Winter)</u>	<u>Cut tracks in some segments. Plow some segments.</u>	<u>Cut tracks in some segments</u>	<u>None</u>	<u>Cut tracks in son segments</u>
<u>Detail reference #</u>	<u>PP-1</u>	<u>T-1</u>	<u>NT-1</u>	<u>ET-1</u>

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Notes:

- (1) Periodic closures for fish and wildlife.
- (2) Up to 5% is acceptable. Up to 10% over several hundred feet, acceptable on a case-by-case basis, at discretion of Suncadia.

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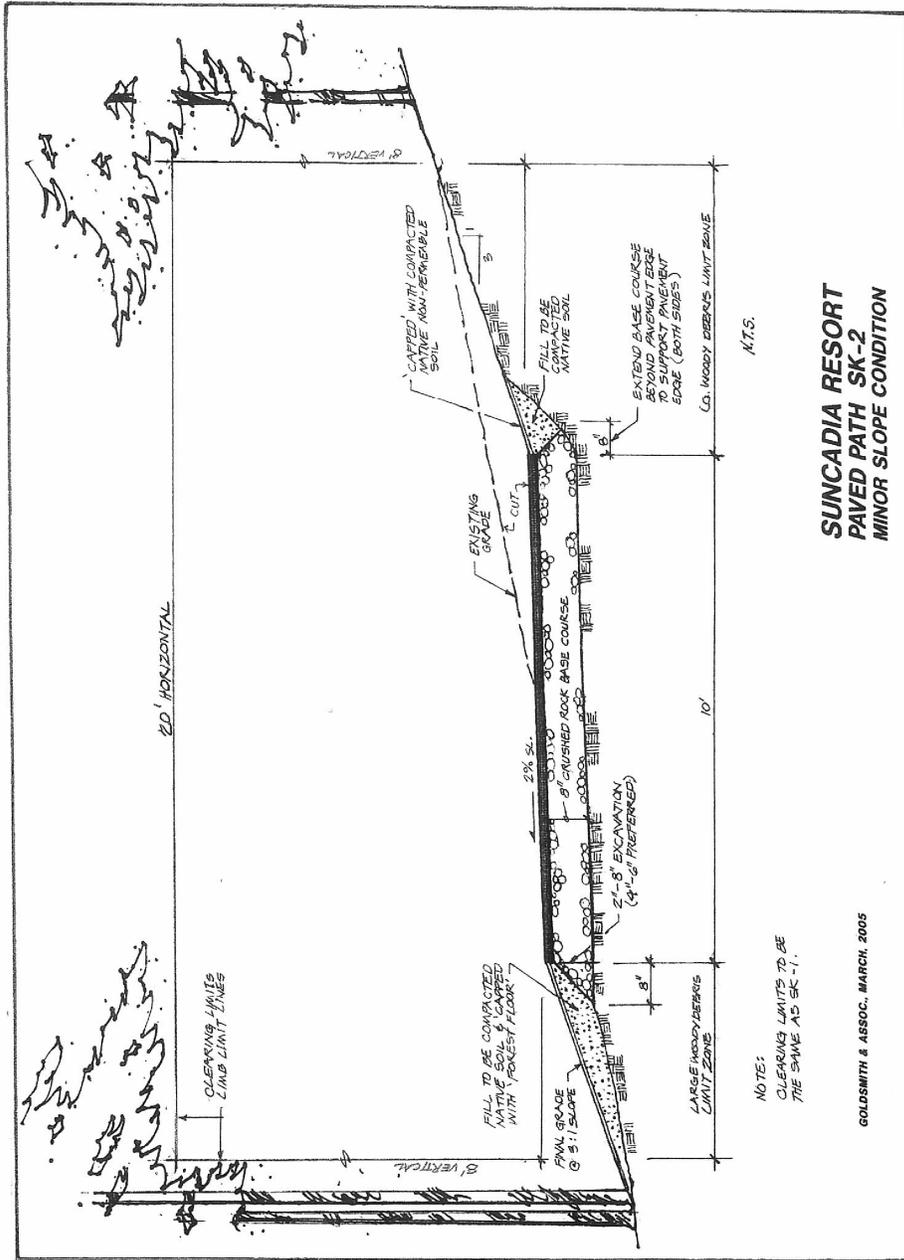
<u>Standard</u>	<u>Paved Path SK-1 Flat Condition</u>	<u>Paved Path SK-2 Minor Slope Condition</u>
<u>Separation (Between path and road shoulder)</u>	<u>5-foot minimum</u>	<u>5-foot minimum</u>
<u>Operating Width - Two-Direction</u>	<u>8-foot to 10-foot (10-foot preferred)</u>	<u>8-foot to 10-foot (10-foot preferred)</u>
<u>Operating Width - One-Direction</u>	<u>6-foot</u>	<u>6-foot</u>
<u>Clear Zone Width</u>	<u>2-foot minimum 5-foot typical</u>	<u>2-foot minimum 5-foot typical</u>
<u>Vertical Clearance</u>	<u>8 feet</u>	<u>8 feet</u>
<u>Construction Width</u>	<u>20 feet</u>	<u>20 feet</u>
<u>Design Speed</u>	<u>N/A</u>	<u>N/A</u>
<u>Horizontal Alignment</u>	<u>N/A</u>	<u>N/A</u>
<u>Grade</u>	<u>Existing ground / terrain dictates</u>	<u>Existing ground / terrain dictates</u>
<u>Sight Distance</u>	<u>Recommended: 150 feet</u>	<u>Recommended: 150 feet</u>

The path types shown in Figures SK-1 and SK-2 and Table 2 represent path design necessary to achieve design objectives of the resort which minimize impacts on natural features and support a safe rural and natural theme.

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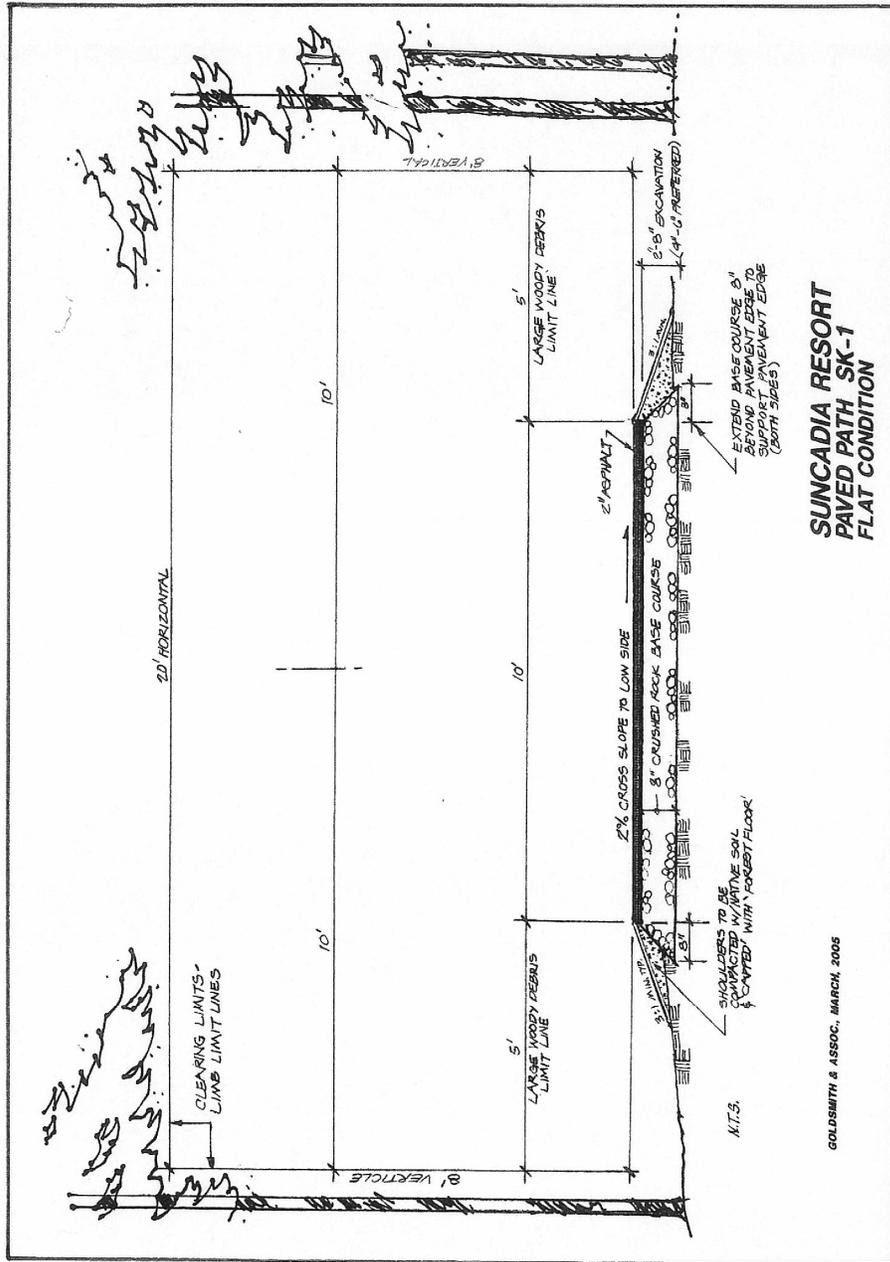


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Section 4 - Stormwater Management

The provisions of Chapter 12.70 KCC, *Storm Water Management Standards and Guidelines*, shall be inapplicable to MountainStar.

Drainage plans for MountainStar shall be consistent with the Master Drainage Plan, MountainStar Master Planned Resort, dated April 1999 (Rev. July 1999). Stormwater retention/detention, infiltration and water quality facilities, as required in the Master Drainage Plan, shall be included in the final drainage plans for each applicable plat or subdivision. Drainage facility locations will be based on future detailed design studies.

The Master Drainage Plan for MountainStar describes in detail the proposed stormwater runoff and water quality control plans for managing stormwater runoff generated by MountainStar. The facilities planned will be designed to minimize the environmental impact of the development on the Cle Elum River, site streams, and groundwater in the area. The stormwater management facilities planned for the resort will be designed to DOE SMM (1992) standards, and the requirements and protocols of the Master Drainage Plan. The DOE SMM for Eastern Washington, current addition, (September 2004) shall be considered used for BMPs as approved by Kittitas County.

Governing documents for the design and construction of MountainStar stormwater facilities shall include the following:

- Master Drainage Plan, MountainStar Master Planned Resort, W&H Pacific, Inc., April 1999 (rev. July 1999), as may be further amended.
- ~~Stormwater Management Manual for the Puget Sound Basin, Washington State Department of Ecology, 1992.~~
- Stormwater Management Manual for Eastern Washington, Washington State Department of Ecology, September 2004 current addition.
- Standard Specifications for Road, Bridge, and Municipal Construction, Washington State Department of Transportation (WSDOT); the Highways and Local Programs, American Public Works Association (APWA) general provisions, latest edition; Kittitas County; and MountainStar Resort Development, LLC standards and specifications.

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The State standard specifications and plans shall be maintained by the contractor on site during the entire period of the construction. Definitions noted as "state" and "contracting agency" shall be amended to read "owner".

- ~~Standard Specifications for Road, Bridge and Municipal Construction, Washington State Department of Transportation and the Washington State Chapter of the American Public Works Association, latest edition (English Units). Except as otherwise specified, construction shall conform with the following sections of such standard specifications:~~

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~~7-02 Culverts~~

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~~7-04—Storm Sewers~~

~~7-05—Manholes, Inlets, Catch Basins, and Dry Wells~~

~~7-08—General Pipe Installation~~

The construction of storm drainage facilities shall be done in accordance with plans that have been approved by the County Engineer. Driveway culverts shall be a minimum of 12 inches in diameter or the equivalent.

~~The Master Drainage Plan includes a draft Stormwater Operations and Maintenance Manual. This manual will be updated for Phase 1 development prior to submittal of the final drainage plans for the initial Phase 1 plat.~~

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Section 5 - Wastewater Facilities

Within the MPR boundaries, the MountainStar Resort Resources, Inc. utility established by Trendwest will review and approve planning, design and construction documents for wastewater collection and pumping facilities. Governing documents for design and construction of MountainStar wastewater collection and pumping systems shall be as follows:

➤ *Criteria for Sewage Works Design: Water Quality Program*, Washington State Department of Ecology, Publication No. 98-37 WQ, ~~December 1998~~current addition.

➤ Standard Specifications for Road, Bridge, and Municipal Construction, Washington State Department of Transportation (WSDOT); the Highways and Local Programs, American Public Works Association (APWA) general provisions, latest edition; Kittitas County; and MountainStar Resort Development, LLC standards and specifications.

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~~➤ *Standard Specifications for Road, Bridge and Municipal Construction, Washington State Department of Transportation and Washington State Chapter of the American Public Works Association, latest edition (English Units). Construction shall conform with the following sections of such standard specifications:*~~

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- ~~7-05 — Manholes, Inlets, Catch Basins and Dry Wells~~
- ~~7-08 — General Pipe Installation Requirements~~
- ~~7-17 — Sanitary Sewers~~
- ~~7-18 — Side Sewers~~
- ~~7-19 — Sewer Cleanouts~~

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Section 6 - Water System

Development standards for the MountainStar water system will be set forth in the Water System Plan for MountainStar, which will be reviewed and approved by the Washington State Department of Health. Governing design criteria and construction specifications ~~in Chapter 7~~ include:

- *Water System Design Manual*, Washington State Department of Health, ~~June 1999~~ current addition.
- Standard Specifications for Road, Bridge, and Municipal Construction, Washington State Department of Transportation (WSDOT); the Highways and Local Programs, American Public Works Association (APWA) general provisions, latest edition; Kittitas County; and MountainStar Resort Development, LLC standards and specifications,
- ~~*Standard Specifications for Road, Bridge and Municipal Construction, Washington State Department of Transportation and Washington State Chapter of the American Public Works Association, latest edition (English Units). Materials shall conform to APWA/WSDOT Standard Specifications, Section 9 30, except as modified herein. Construction shall conform with the following sections of such standard specifications:*~~
 - 7-10 — Trench Excavation, Bedding and Backfill for Water Mains.
 - 7-11 — Pipe Installation for Water Mains
 - 7-12 — Valves for Water Mains
 - 7-13 — Hydrants
 - 7-14 — Service Connections

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Section 7 - Building Structures

The construction of building structures at MountainStar shall conform to the latest edition of the Uniform-International Building Code, Uniform Plumbing Code, Uniform-International Mechanical Code, Uniform-International Fire Code, National Electrical Code, Washington State Energy Code, Americans with Disabilities Act, International Residential Code, Washington State Indoor and Ventilation Air Quality Code, and all other governing laws, ordinances and regulations as now or hereafter adopted by Kittitas County.

Development Standards relating to the various land use categories contained in the MountainStar Conceptual Master Plan are shown in the following table, shall not require minimums for lot size, lot coverage, or boundary set-backs. All single family residential structures shall have a maximum height of forty (40) feet and provide at least one (1) off-street parking space per unit. All structures shall be not less than ten (10) feet from any other structure plus an additional ten (10) feet to accommodate snow drop from roofs where slopes so require. The additional ten (10) feet to accommodate snow drop is not required if the roofs are designed to either hold snow or continuously melt snow. Structure setbacks shall be absolute distances (without regard to boundaries), provided that eaves may encroach into the setback area.

	Min. Lot Area, SF(4)	Maximum Lot Coverage %	Required Yard Setbacks (feet)			Max. Structure Height (feet) (3)	Off Street Parking
			Front	Side	Rear (2)		
Chalets (Detached Townhomes)	4,500	40	5	5	5	40	1/unit
Vacation Homesites							
Size: 6,500 sf - 9,999 sf	6,500	35	15	5(1)	20	40	1/unit
Size: 10,000 sf - 17,999 sf	10,000	30	15	5(1)	20	40	1/unit
Size: 18,000 sf - 29,999 sf	18,000	25	15	5(1)	20	40	1/unit
Size: 30,000 sf and larger	30,000	20	15	5(1)	20	40	1/unit
Condominiums							
Detached Cabin Units	4,500	40	5	5(1)	5	40	1/unit
Attached units	8,000	60	15	5(1)	10	40	1/unit
Lodges	NR	NL	NR	NR	NR	NL	
Commercial Facilities	NR	NL	NR	NR	NR	NL	
Commercial Condo-Mixed-Use	NR	NL	NR	NR	NR	NL	
Recreation Centers	NR	NL	NR	NR	NR	NL	
Admin/Maintenance Facilities	NR	50	NR	NR	NR	NL	
Equestrian Facility	NR	50	NR	NR	NR	NL	
Other	NR	50	NR	NR	NR	NL	

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NR = No requirement
NL = No Limit

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~~(1) On corner lots the side yard shall be a minimum of fifteen feet on the side abutting the street.~~

~~(2) On Vacation Homesites the setback on property without a rear common area is twenty feet. Setback on a property with a depth of common area to the rear of forty (40) feet or more is zero (0). when the common area is less than forty (40) feet, the structure shall be setback six (6) inches for every foot less than forty (40) feet. The distance of common open space adjacent to a lot rear yard will be measured at ten (10) foot intervals along the rear property line. A 90 degree perpendicular measurement will be taken from the rear property line to the nearest point of common area. This figure will be used to determine the depth of common area and the resulting rear yard setback. No building improvements above eighteen (18) inches from finished grade level shall encroach into the rear setback area, including eaves, decks, privacy screens, bay windows, etc. Improvements which are eighteen (18) inches or less from finished grade level at point of encroachment shall require DRC approval.~~

~~(3) Chimneys may extend beyond the height limit.~~

~~(4) Where no requirement (NR) is noted, it is the intent that these uses be situated on sites of sufficient size to provide all off street parking, loading and necessary driveways.~~

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Section 8 - Design Guidelines

General Description and Requirements

The Design Guidelines set forth below shall apply to the development of MountainStar. Trendwest may choose to impose additional design guidelines through appropriate Covenants, Conditions and Restrictions ("CC&Rs") and/or other methods chosen by Trendwest. Trendwest will establish a Design Review Committee ("DRC") through CC&Rs, which Committee shall be responsible for imposing, administering and enforcing all design guidelines in accordance with this Agreement, CC&Rs, and any other instruments utilized by Trendwest.

The purpose of these Design Guidelines is to identify the design goals that the County and Trendwest have agreed upon regarding the development of MountainStar. The Design Guidelines are not intended to be binding in the sense of code or regulations, but rather to reflect an agreed upon set of goals between the County and Trendwest to guide the design and development of MountainStar. The County recognizes that market conditions and public "taste" in design will change over the Term of the Development Agreement for MountainStar build-out. It is agreed by the County and Trendwest that the ability to adapt to these changes is a crucial aspect of innovation and the success of MountainStar. The County and Trendwest intend that Trendwest be given latitude and flexibility in determining how best to achieve the Design Guidelines in connection with the development of MountainStar. Therefore, the Design Guidelines set forth in this Section are intended to express the intent of what the County and Trendwest expect these Design Guidelines, and other guidelines adopted by Trendwest or the DRC, to achieve, while allowing Trendwest to choose the ways in which that intent will be achieved and without any additional required design review of any kind.

Guiding Design Principles

The design of MountainStar will feature a Northwest mountain style that will be designed to blend with the natural environment while reflecting the region's rich mining and logging histories. Trendwest reserves the right to alter this theme as necessary to respond to market considerations. All the buildings will be designed to encourage integrated use of the Resort's many on-site recreational opportunities.

The buildings will be varied in size and shape and feature sloped roofs, generous overhangs, covered porches and walkways, decks and other elements that provide architectural detail. Structures will generally utilize natural materials and colors, and liberal use of wood and stone, and heavy timber or log construction will be emphasized. ~~Most roofs will be standing seam metal, although concrete tile and composition roofing may be incorporated.~~ Roof materials will include; simulated wood shakes, flat concrete or clay tiles, slate or faux slate, oxidized copper or steel, other non-reflective metals, asphalt composition. Disallowed roofing materials include wood shakes or shingles and clay barrel. Walls will feature wood siding such as board and batten or shingles.

Most structures will feature a combination of one- and two-story elements. These will likely include the condominiums, chalets, recreational homes, administrative offices, shops, golf

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MountainStar Master Planned Resort
March 18, 2008

facilities and maintenance facilities. Larger structures will likely include three- to six-story resort lodge facilities, a conference center, an indoor health and recreation center, an interpretive center, and an equestrian facility.

All structures will be designed to utilize the natural land contours with a minimum of grading. Careful attention will be paid to the retention of forested areas to provide natural screening of structures. Prescribed allowable building/development envelopes for each cabin site and recreational lot will control clearing and provide screening for privacy between units, while maintaining the forested character of the Resort.

Design Guidelines

The Design Guidelines for the development of MountainStar include the following:

Exterior Colors. ~~Exterior colors should blend, not create a high contrast to, and harmonize with the predominate year-around colors of the immediate surrounding natural environment. There should not be an excessive contrast between individual exterior colors of different building materials. All exterior color schemes should be subdued and not create a noticeable contrast between the natural and built environment. All colors should be reviewed and judged on their individual merit and are subject to approval by the DRC. Care should be taken to avoid duplicating the precise colors of nearby homes. Matte, non-gloss and non-glare finish should be required for all exterior building materials, and the only areas, which may receive a clear finish or sealer, are flat deck, bench surface or stair treads. Trim color should match the body color or be a complimentary color approved by the DRC. Exterior colors will be darker subtle colors that reflect the colors and or hues of the surrounding forest to help buildings recede and blend into the landscape. Building elements (roofs, walls, trim, doors, window cladding) are to generally fall within the following color ranges; brown, gray and/or green in hue. Fences are to be stained to match the house and blend in with surrounding tree trunks. Balconies, decks, porches and railings shall use natural materials consistent with the exterior finish of the Residence. Exterior paints and stains are to have a flat, non-glossy finish. Stains or opaque and semi-opaque paints are to be used to protect wood from weathering, to give it a more refined texture and to achieve a darker hue. Clear finishes and stains may be appropriate on log and natural wood elements.~~

Exterior Walls and Trims. ~~Exterior materials should generally be natural materials that blend and are compatible with the native landscape. Plywood, vinyl and pressed board siding should be prohibited unless the DRC concludes that a specified proposed application will result in a finished appearance that is indistinguishable from an individual board siding application. Any accent or trim material, including but not limited to, stucco, brick, glass block, unit masonry, rock or stone, must be submitted to the DRC for review regarding color, placement and pattern. The predominant materials to be used for exterior walls at Suncadia are to be wood and stone. Stucco is to be used sparingly at Suncadia and only as an accent material. Owners may propose use of other materials for consideration by the DRC. The aesthetic merits of any combination of exterior materials are subject to review and approval by the DRC in order to maintain the architectural consistency of the visual experience at MountainStar.~~

Site and Landscaping Design. ~~Site and Landscape Design on individually owned homes sites will~~

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conform to the plans submitted to and approved by the DRC prior to site construction and or landscape installation. Landscaping, lawns and site construction on individually owned home sites should conform to the plans submitted to and approved by the DRC prior to site construction and or landscape installation. Extensive landscaping should not be required; however, all homesites should be maintained to present an attractive and natural appearance to all off-property vantage points and to mitigate the problem of wind-blown dust. Steps should be taken to restore unsightly scarred areas due to construction activity or other damage, and to remove dead plant material and refuse from the site to minimize fire danger in the area. The DRC should encourage natural landscaping in keeping with area water conservation efforts; however, submittal of a landscaping plan should nonetheless be required. Lawn areas should be kept to a minimum and will be reviewed on an individual basis by the DRC. The allowable lawn area shall not exceed the areas shown for each lot size.

All landscape designs regardless of the shape and location of the homesite should consider utilizing *planting zones* to make the transition from the "heavily landscaped" areas to the "wild" areas appear more natural. Zone 1, known as the "Interior Zone", identifying the area directly adjacent to the home, is reserved for the most intense and formal design elements. The Interior Zone may contain the greatest variety of plant materials, including non-native varieties, and may incorporate the use of mow-type grasses or sod. Zone 2, referred to as the "Transition Zone", should serve to blend native and non-native plant material and will most likely contain fewer plants and varieties than the Interior Zone. Zone 3, the "Natural Zone", is a sensitive zone, bordering roadways and property lines. This zone should contain original, natural and/or truly native plant materials. The depth of this zone is a function of site conditions and site size. Clearing of this zone should be limited to approved fire prevention efforts and elimination of weeds. Irrigation of this zone is discouraged other than to re-establish native plant materials during the first few years after planting.

Homeowners may choose to develop their entire site as a Natural Zone or as a combined Natural and Transition Zone, carrying the informal blend of native and non-native materials to the perimeter of the home.

Areas of the site exposed to the neighborhood should be treated in a casual, fluid manner so as to integrate comfortably with the natural settings of MountainStar. In some situations, the DRC may require an owner to plant trees and/or add contouring to a site to screen on-site elements from off-site vantage points. Any landscaping that dies will promptly be removed and may be required to be replaced.

Site and Landscape design will achieve the following:

- Preserve, protect and enhance the existing forest and natural environment.
- Situate homes such that they preserve the integrity of the surrounding forested landscape by maintaining a natural buffer between the house and street, neighboring Homesites, Common Areas and the golf course.
- Limit tree removal to what is necessary to accommodate the home.

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improve forest health across the entire homesite and selectively open up views while ensuring that off-site views are protected.

- Design landscape to encourage and promote water conservation.
- Site buildings to minimize grading and maintain a low, subordinate profile against the back drop of the surrounding forests.
- Design landscape that blends the architecture with the natural environment. Incorporate natural and existing landscape features such as rock outcroppings, vegetation and topography into landscape designs to help achieve the transition between the built and natural environments
- Contain storm water and snow melt within the Homesite and encourage natural infiltration on-site through infiltration swales that appear natural.

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A Homesite Diagram will be prepared for each Homesite. The diagram will establish the boundaries of the Building Envelope, Secondary Envelope (applicable to some homesites) and Natural Area within each homesite.

All landscaping shall be completed within one year of completion of construction of the exterior of the residence.
